



HomeTeam[®]
INSPECTION SERVICE

441 Butler St. Springdale, PA 15144

412-461-8273 Fax: 412-461-0814

www.hometeam.com/southpittsburgh

E-mail: southpittsburgh@hometeam.com

310 Cola St

RE: Pittsburgh, PA 15203

Inspection #: 527-032026-6753

Dear Richard Pflug,

On 3/25/2026 HomeTeam Inspection Service made a visual inspection of the property referenced above. Enclosed please find a written, narrative report of our findings in accordance with the terms of our Home Inspection Agreement. Although maintenance items may have been addressed verbally at the time of the inspection, they may not be included in the enclosed report.

I trust the enclosed information is helpful and I hope you enjoy every aspect of your new home. If I can be of any assistance, please feel free to call me at the above telephone number.

Sincerely,

HomeTeam Inspection Service
Mike Pucci

PA Radon Firm Certification #2915





HomeTeam[®]

INSPECTION SERVICE

HOME INSPECTION REPORT



Home. Safe. Home.



WHAT IS A HOME INSPECTION?

The purpose of a home inspection is to visually examine the readily accessible systems and components of the home. The inspectors are not required to move personal property, materials or any other objects that may impede access or limit visibility. Items that are unsafe or not functioning, in the opinion of the inspector, will be described in accordance with the standards of practice by which inspectors abide.

WHAT DOES THIS REPORT MEAN TO YOU?

This inspection report is not intended as a guarantee, warranty or an insurance policy. Because your home is one of the largest investments you will ever make, use the information provided in this report and discuss the findings with your real estate agent and family to understand the current condition of the home.

OUR INSPECTIONS EXCEED THE HIGHEST INDUSTRY STANDARDS.

Because we use a team of inspectors, each an expert in his or her field, our inspections are performed with greater efficiency and more expertise and therefore exceed the highest industry standards. We are pleased to provide this detailed report as a service to you, our client.

WE BELIEVE IN YOUR DREAM OF HOME OWNERSHIP.

We want to help you get into your dream home. Therefore, we take great pride in assisting you with this decision making process. This is certainly a major achievement in your life. We are happy to be part of this important occasion and we appreciate the opportunity to help you realize your dream.

WE EXCEED YOUR EXPECTATIONS.

Buying your new home is a major decision. Much hinges on the current condition of the home you have chosen. That is why we have developed the HomeTeam Inspection Report. Backed by HomeTeam's experience with hundreds of thousands of home inspections over the years, the report in your hand has been uniquely designed to meet and exceed the expectations of today's homebuyers. We are proud to deliver this high-quality document for your peace of mind. If you have any questions while reviewing this report, please contact us immediately.

Thank you for allowing us the opportunity to serve you.



FAST



TRUSTED



ACCURATE

PREFACE:

This report is intended for the sole, confidential, and exclusive use and benefit of the Client(s) under a written HomeTeam Inspection Agreement. This report is not intended for the benefit of, and may not be relied upon by, any other party. The disclosure or distribution of this report to the current owner(s) of the property inspected or to any real estate agent will not make those persons intended beneficiaries of this report. HomeTeam Inspection Service has no liability to any party (other than the HomeTeam client named above, for whom this report was expressly prepared) for any loss, damage or expense (including, without limitation, attorney fees) arising from any claim relating to this report.

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection. We will not render an opinion as to the condition of any systems or components of the structure that are concealed by walls, floors, drywall, paneling, suspended ceiling tiles, insulation, carpeting, furniture or any other items stored in or on the property at the time of the inspection.

The results of this home inspection are not intended to make any representation regarding the presence or absence of latent or concealed defects that are not reasonably ascertainable in a competently performed home inspection. No warranty or guaranty is expressed or implied.

If the person conducting your home inspection is not a licensed structural engineer or other professional whose license authorizes the rendering of an opinion as to the structural integrity of a building or its other component parts, you may be advised to seek professional opinion as to any defects or concerns mentioned in the report. If the age, condition or operation of any system, structure or component of the property is of a concern to you, it is recommended that a specialist in the respective field be consulted for a more technically exhaustive evaluation.

This home inspection report is not to be construed as an appraisal and may not be used as such for any purpose.

This inspection report includes a description of any material defects (*) noted during the inspection, along with any recommendation that certain experts be retained to determine the extent of the defects and any corrective action that should be taken. Any material defect that poses an unreasonable risk to people on the property will be conspicuously defined as such. Any recommendations made to consult with other specialists for further evaluation as a result of our findings should be complete prior to the conclusion of the inspection contingency period. The Client warrants they will read the entire Inspection Report when received and shall promptly contact HomeTeam regarding any questions or concerns the Client may have regarding the inspection or the Inspection Report.

The majority of home inspections are performed on pre-existing structures. The age of these structures vary from just a few years to over 99 years old. Building techniques have changed dramatically over the years. These changes are what bring character to the neighborhoods of Western Pennsylvania, and affect a buyer's decision to purchase one home over another. Therefore, the age and method of construction will affect the individual character of a home.

We will not determine the cause of any condition or deficiency, determine future conditions that may occur including the failure of systems and components or consequential damage or components or determine the operating costs of systems or components.

It is not uncommon to observe cracks or for cracks to occur in concrete slabs or exterior and interior walls. Cracks may be caused by curing of building materials, temperature variations and soil movement such as: settlement, uneven moisture content in the soil, shock waves, vibrations, etc. While cracks may not necessarily affect the structural integrity of a building, cracks should be monitored so that appropriate maintenance can be performed if movement continues at an abnormal rate. Proper foundation maintenance is key to the prevention of initial cracks or cracks enlarging. This includes, but not limited to proper watering, foundation drainage and removal of vegetation growth near the foundation.

* Material Defect: A problem with a residential real property or any portion of it that would have a significant adverse impact on the value of the property or that involves an unreasonable risk to the people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect.

SUMMARY: The purpose of this summary is to provide a "quick view" of the results of the home inspection. Please be sure to read the full body of the inspection report, as it contains much more detail about your new home. Any recommendations for additional evaluation must be performed prior to the conclusion of the inspection contingency period. You should ask the seller to provide receipts or other suitable documentation as evidence that items requested as part of the reply to home inspection were complete by qualified individuals.

The following notable items were observed during the inspection performed at 310 Cola St, Pittsburgh, PA 15203:

PLEASE NOTE each summary bullet point is a link. Simple click on the bullet point to drop down into that section of the report.

Safety Concerns

- The balusters on all four deck rails were installed horizontally rather than vertically.
- The risers or backs of the right exterior stairs are open. This could be a fall hazard for small children.
- The deck rail on the rear deck is loose.
- The balusters on the first floor handrail were installed horizontally.
- The ledger board and posts for the deck are nailed to the main structure of the home rather than bolted.
- The risers or backs of the basement stairs are open. This could be a fall hazard for small children.
- One or more electrical fixture knockout(s) was noted in the electric service panel.
- Exposed or un-terminated live wires were noted on the exterior.
- A broken outlet was noted in the kitchen.

General Description

- The middle vertical support post on the front porch is not installed. The post is an important structural component and should be repaired.
- The vertical support posts on the right upper deck have several deficiencies. The posts are not mounted on concrete piers with a bottom saddle to prevent rot. The front post has a retaining wall leaning on its base.
- The deck support post(s) are making direct contact with the landscaping.
- The vertical support posts on the lower right deck have several deficiencies. The posts are not mounted on concrete piers with a bottom saddle to prevent rot. The front post has a small retaining wall leaning on its base. One post is detached and falling.
- Damaged siding was noted in the siding on the left and right sides.
- The right retaining wall is failing.
- Missing siding was noted on several areas of the home.
- Rotted wood was noted on the wood fascia.
- The landscaping on the right side is in direct contact with the wood framing.

Roof Structure

- Damaged gutters were noted on the right.
- One or more popped nails were noted on the roof at the time of the inspection.
- The left gutter appears to be leaking at the corners.
- There were cracks on the top cap(s) of the chimney.
- The left downspout was draining at or too close to the base of the foundation.

Foundation

- One or more cracks were noted on the foundation walls.

Plumbing

- Minor plumbing issues were noted during the inspection.
- There is no expansion tank installed on the water heater.
- There was no drip leg installed on the T&P valve of the water heater.
- There is no water collection pan installed under the water heater. The collection pan will capture water from the unit in the event of a leak.
- The full bath sink drain line has been repaired with flexible drain pipe.

Electric Service

- The sealant at the top of the electric meter box is cracked and decayed.
- One or more sections of unsupported electrical wiring was noted in the attic.
- The water meter ground jumper was not installed at the time of the inspection.

Windows, Doors, Walls and Ceilings:

- The basement man door could not be opened because the door is damaged.
- One or more defective tilt latches were noted on the windows.
- The cladding on the exterior doors located on basement bath is delaminated.

Heating & Air Conditioning

- The insulation on the exterior air conditioning line set is damaged.
- The air conditioning condensing unit is not installed level.
- Evidence of water was noted inside the furnace compartment.
- The vent has been reduced in size from the required 4-inch pipe. The vent pipe should consist of 4-inch pipe its entire length as it vents to the exterior of the home.
- The condensate pump did not appear to be directed to a proper drain.

GENERAL DESCRIPTION

Throughout this report, the terms "right" and "left" are used to describe the home as viewed from the street. A system or component has a material defect if it has a significant impact on the value or safety of the property. The HomeTeam inspects for evidence of structural failure and safety concerns only. The cosmetic condition of the paint, wall covering, carpeting, window coverings, etc., are not addressed. All conditions are reported as they existed at the time of the inspection. Routine maintenance and safety items are not within the scope of this inspection unless they otherwise constitute material visually observable defects. Although some maintenance and/or safety items may be disclosed, this report does not include all maintenance or safety items, and should not be relied upon for such items.

The inspected property consisted of a two story wood-framed structure with vinyl siding and wood that was vacant at the time of the inspection. There were no material defects on the visible portions of the siding.

NOTE: SIDING:

Damaged siding was noted in the siding on the left and right sides. This condition does not impact the structural integrity of the building, but can lead to water intrusion. Repairs should be made by a qualified contractor.



MAINTENANCE NOTE: EXTERIOR CAULKING:

The exterior caulking around the multiple areas is cracked or missing on all sides of the home. The caulking should be replaced to ensure the exterior of the home remains weather and water tight.



NOTE: MISSING SIDING:

Missing siding was noted on several areas of the home. Consult with a qualified contractor for replacement.



Left rear



Right rear



Left side window closed

The approximate temperature at the time of the inspection was 35 to 40 degrees Fahrenheit, and the weather was cloudy. The owner was not present at the time of the inspection. All of the utilities were on at the time of the inspection.

LOT AND GRADE

The home was situated on a hillside lot. The general grade around the home appeared to be questionable on all sides due to the age of the property to direct rain water away from the foundation. The age of the home, as reported by the MLS sheet was said to be eighty to ninety years old. The inspection does not include any geological surveys, soil compaction surveys, ground testing, or evaluation of the effects of, or potential for earth movement such as earthquakes, landslides, sinking, rising or shifting for any reason. Information on local soil conditions and issues should be obtained from local officials and/or a qualified specialist. Additionally, the inspection does not include evaluation of elements such as underground drainage systems, site lighting, irrigation systems, barbecues, sheds, detached structures, fencing, privacy walls, pools, spas and other recreational items.

WALKWAY AND PORCHES

There was an asphalt walkway leading to a composition wood deck in the front of the home. Surface defects in walkways develop and progress with age and are considered normal as long as they do not create a safety hazard. There were no material defects observed in the walkway or the deck.

DECK FRONT

There was a composition wood with wood base deck located in the front of the home. The deck appeared to be properly anchored to the main structure of the home. The vertical supports on the deck appear to be inadequate to support the outer load of the deck. Construction methods, attachment requirements and supporting load specifications have changed dramatically over the years. The deck inspection provides a general condition report and is not meant to imply that the construction meets current standards. Consult with the local municipality for current deck construction requirements. There appeared to be significant deterioration of the deck surface. The handrails on the deck were secured. A wood deck should be cleaned and sealed regularly to prevent deterioration. There were no material defects observed on the visible portions of the deck or support structure.

SAFETY NOTE: DECK STRUCTURE:

It is generally recommended to verify that any deck construction has been properly permitted and approved by the local authority having jurisdiction. Proper permitting helps ensure the deck was built in accordance with applicable building codes and safety standards. Lack of permits may indicate that the structure was not inspected during construction, and its compliance with current codes cannot be confirmed. Further review with the local municipality is advised. Given the elevation of the decks and the slope of the hillside and deficiencies observed we recommend confirmation permits and that final inspection was performed on the decks.

SAFETY NOTE: DECK RAIL BALUSTERS:

The balusters on the deck rail were installed horizontally rather than vertically. Generally accepted construction techniques provide for balusters to be installed vertically and spaced no greater than four inches apart. Larger baluster spacing can be a safety concern, and horizontally mounted balusters permit climbing. Local codes may require

modification and / or installation of additional balusters. Consult with a general contractor for cost estimates for additional balusters.



NOTE: DECK SUPPORT STRUCTURE:

The middle vertical support post on the front porch is not installed. The post is an important structural component and should be repaired. Consult with a qualified contractor for recommendations.



No center support



Rusted horizontal support

DECK UPPER RIGHT

There was a composition wood deck located on the right side of the home. The deck appeared to be properly anchored to the main structure of the home. The vertical supports on the deck appear to be adequate to support the outer load of the deck. Construction methods, attachment requirements and supporting load specifications have changed dramatically over the years. The deck inspection provides a general condition report and is not meant to imply that the

construction meets current standards. Consult with the local municipality for current deck construction requirements. There did not appear to be significant deterioration of the deck surface. The handrails on the deck were secured. A wood deck should be cleaned and sealed regularly to prevent deterioration. There were no material defects observed on the visible portions of the deck or support structure.

SAFETY NOTE: DECK RAIL BALUSTERS:

The balusters on the upper right deck rail were installed horizontally rather than vertically. Generally accepted construction techniques provide for balusters to be installed vertically and spaced no greater than four inches apart. Larger baluster spacing can be a safety concern, and horizontally mounted balusters permit climbing. Local codes may require modification and / or installation of additional balusters. Consult with a general contractor for cost estimates for additional balusters.



NOTE: DECK SUPPORT POST:

The vertical support posts on the right upper deck have several deficiencies. The post are not mounted on concrete piers with a bottom saddle to prevent rot. The front post has a retaining wall leaning on it's base. The post is an important structural component and should be repaired. Consult with a qualified contractor for recommendations.



Earth mounted post with retaining wall at base



Mounted in earth

DECK LOWER RIGHT

There was a wood deck located on the right side of the home. The deck did not appear to be properly anchored to the main structure of the home. The vertical supports on the deck appear to be inadequate to support the outer load of the deck. Construction methods, attachment requirements and supporting load specifications have changed dramatically over the years. The deck inspection provides a general condition report and is not meant to imply that the construction meets current standards. Consult with the local municipality for current deck construction requirements. There did not appear to be significant deterioration of the deck surface. The handrails on the deck were secured. A wood deck should be cleaned and sealed regularly to prevent deterioration. There were no material defects observed on the visible

portions of the deck or support structure.

SAFETY NOTE: OPEN BACK STAIR RISERS:

The risers or backs of the right exterior stairs are open. This could be a fall hazard for small children. Consult with a qualified contractor for evaluation and recommendations.



SAFETY NOTE: DECK ANCHORING:

The ledger board and posts for the deck are nailed to the main structure of the home rather than bolted. Generally accepted deck construction techniques require the deck to be bolted to the main structure of the home at regular intervals. Consult with a qualified contractor to anchor the deck to the home with bolts.



No bolts



No evidence of bolts on front of ledger



No bolts

NOTE: EARTH-TO-WOOD CONTACT:

The landscaping on the right side is in direct contact with the wood framing. This condition can cause water to penetrate into the wood and other absorbent materials in the home, causing wood rot and/ or insect intrusion. The landscaping should be pulled back or the grade adjusted so that there is no earth-to-wood contact.



NOTE: DECK SUPPORT POST:

The vertical support posts on the lower right deck have several deficiencies. The post are not mounted on concrete piers with a bottom saddle to prevent rot. The front post has a retaining wall leaning on it's base. One post is detached and falling. The post is an important structural component and should be repaired. Consult with a qualified contractor for recommendations.



Pressure at base



Not plumb



Loose support post



Erosion evidence

SAFETY NOTE: DECK RAIL BALUSTERS:

The balusters on the deck rail were installed horizontally rather than vertically. Generally accepted construction techniques provide for balusters to be installed vertically and spaced no greater than four inches apart. Larger baluster spacing can be a safety concern, and horizontally mounted balusters permit climbing. Local codes may require modification and / or installation of additional balusters. Consult with a general contractor for cost estimates for additional balusters.

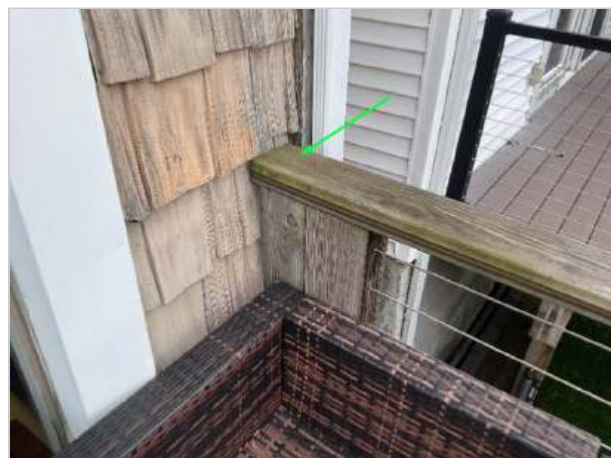


DECK REAR

There was a composition wood deck located in the back of the home. The deck appeared to be properly anchored to the main structure of the home. The vertical supports on the deck appear to be adequate to support the outer load of the deck. Construction methods, attachment requirements and supporting load specifications have changed dramatically over the years. The deck inspection provides a general condition report and is not meant to imply that the construction meets current standards. Consult with the local municipality for current deck construction requirements. There did not appear to be significant deterioration of the deck surface. The handrails on the deck were secured. A wood deck should be cleaned and sealed regularly to prevent deterioration. There were no material defects observed on the visible portions of the deck or support structure.

SAFETY NOTE: LOOSE DECK RAIL:

The deck rail on the rear deck is loose. The rail should be secured for safety by a qualified contractor.



SAFETY NOTE: DECK RAIL BALUSTERS:

The balusters on the deck rail were installed horizontally rather than vertically and spaced greater than four inches apart. Generally accepted construction techniques provide for balusters to be installed vertically and spaced no greater than four inches apart. Larger baluster spacing can be a safety concern, and horizontally mounted balusters permit climbing. Local codes may require modification and / or installation of additional balusters. Consult with a general contractor for cost estimates for additional balusters.



NOTE: DECK SUPPORT POST:

The *deck* support post(s) are making direct contact with the landscaping. Common practice is to mount support posts on concrete piers. The post is an important structural component and should be monitored for deterioration. A qualified contractor should be contacted for further evaluation and recommendations if desired.



RETAINING WALL BLOCK

There was one retaining wall constructed of wall block. The wall was in fair condition. There were no material defects observed in the wall. We do not inspect or comment on retaining walls that are detached from the main structure of the home unless the walls function has an impact on the structure.



RETAINING WALL WOOD RIGHT

There were two retaining walls constructed of treated wood. The walls were in need of repair. There were no material defects observed in the wall. We do not inspect or comment on retaining walls that are detached from the main structure of the home unless the walls function has an impact on the structure.

NOTE: RETAINING WALL:

The right retaining wall is failing. There were significant vertical earth pressure type cracks observed in the wall. This condition is most often associated with soil and /or water pressure. The displacement occurs incrementally as the wall yields to horizontal earth pressure. The wall was not stable at the time of the inspection. Repairs to the wall are required. Consult with a qualified contractor for repair estimates.



ASPHALT DRIVEWAY

There was an asphalt driveway in the front of the home which led to the off street parking. There were minor cracks and spalling noted on the driveway. Surface defects in driveways develop and progress with age and are considered normal as long as they do not create a safety hazard. There were no material defects observed in the driveway. Sealing the driveway with an asphalt driveway sealer will help extend the life of the driveway.



ROOF STRUCTURE

The roof was a gable design covered with asphalt/fiberglass shingles. Observation of the roof surfaces, flashing, skylights and penetrations through the roof was performed from the ground level with the aid of binoculars. We will access the roof as long as it is dry, has a pitch that can be safely walked and accessible with the 16 foot ladder we carry. The age of the roof covering, as reported by the MLS sheet, was unknown. There was one layer of shingles on the roof at the time of the inspection. There was no curling and light surface wear observed on the roof shingles at the

time of the inspection. These conditions indicate the roof shingles were in the first half of their useful life.

NOTE: POPPED NAILS ON ROOF:

One or more popped nails were noted on the roof at the time of the inspection. A popped nail can be identified by a lifted corner on a shingle. The heating and cooling of the roof will often cause roofing nails to lift under the shingles, causing the corner to lift. While it is not likely that the condition is causing a leak, the nails should be reset and sealed to prevent wind from getting under the shingle and possibly lifting the shingle off the roof. Consult with a qualified roofer for repair.



The aluminum soffit and fascia was inspected and was in fair condition.

NOTE: EXTERIOR WOOD ROT:

Rotted wood was noted on the wood fascia . The areas should be repaired and sealed by a qualified contractor.



This visual roof inspection is not intended as a warranty or an estimate on the remaining life of the roof. Any roof metal, especially the flashing and valleys, must be kept well painted with a paint specially formulated for the use. All roof penetrations require maintenance and can crack, loosen or leak during or after significant weather events such as wind or rain. These areas should be monitored for changes in characteristic and repaired as required by a qualified roofer. There were no material defects detected on the exterior of the roof.

The roof drainage system consisted of yankee - box gutters and downspouts which appeared to be in need of repair at the time of the inspection. Gutters and downspouts should receive routine maintenance to prevent premature failure. There were no material defects observed on the visible portions of the gutters or downspouts.



NOTE: DAMAGED GUTTERS AND/OR DOWNSPOUTS:

Damaged gutters were noted on the right. Gutters and downspouts help facilitate proper drainage of roof water away from the foundation of the home. Consult with a qualified, reputable contractor to install proper roof drainage.



NOTE: LEAKING GUTTERS:

The left gutter appears to be leaking at the corners. The seams should be sealed with an appropriate gutter sealant by a qualified contractor.



Evidence of leak

NOTE: DOWNSPOUTS:

The left downspout was draining at or too close to the base of the foundation. All roof drainage should be directed at

least six feet from the base of the foundation.



Left side

There was one chimney. Observation of the chimney exterior was made from the ground with the aid of binoculars. Rain hats were installed on the chimneys. Flue chases should always have some type of rain hat. In this case rain hats are not applicable since there are no flue chases. There were no material defects observed on the exterior.



NOTE: CHIMNEY BRICKWORK:

There were cracks on the top cap(s) of the chimney and repairs should be made to prevent further deterioration. Consult with a qualified masonry contractor for repair.



FOUNDATION

The foundation was constructed of stone rubble. A single inspection cannot determine whether movement of a foundation has ceased. Any cracks should be monitored regularly. There were no material defects observed on the visible portions of the foundation.

MAINTENANCE NOTE: SPALLING:

Some spalling was noted on the concrete of the home. Spalling is usually caused by moisture accumulation behind the surface. In cold weather, the moisture freezes and pushes the face off. In some cases the condition can be controlled by sealing the face with an appropriate masonry sealer. Consult with a qualified masonry contractor for recommendations.



Left side



NOTE: FOUNDATION CRACKS:

One or more cracks were noted on the foundation walls. The cracks were located on the right and left. The cracks appear to have been caused by settlement. There was no evidence of active movement at the time of the inspection. Corrective action did appear to be necessary. All cracks should be monitored for significant changes in characteristic. Consult with a contractor if the cracks change significantly or you desire another opinion on this condition.





There were several minor, settlement cracks observed on the foundation. The cracks were 1/16-inch or less in width. These cracks are common and usually insignificant. All buildings experience some settlement. Settlement cracks most often occur within the first few years after construction as the soil under the structure accommodates itself to the load of the structure. However, the significance of cracks cannot always be judged by a single inspection. All cracks should be monitored for significant changes in characteristics. Consult with a company specializing in foundation repair if there is a marked change in the size or dimension of a crack.

BASEMENT

The full basement was finished, and contained the following mechanical systems: furnace and water heater. The concrete basement floor was in satisfactory condition. Minor cracks within any concrete slab are common and are most often due to shrinkage and settlement. Concrete floors are poured after the structure is built and serve no purpose with regard to structural support.

The basement stairway was inspected and there were no material defects observed with the steps, stairways or handrails.

SAFETY NOTE: OPEN BACK STAIR RISERS:

The risers or backs of the basement stairs are open. This could be a fall hazard for small children. Consult with a qualified contractor for evaluation and recommendations.



The finished basement area included Living room, comma kitchen, full bath.

MAINTENANCE NOTE: BATHROOM CAULKING:

Failure to keep walls sealed can cause deterioration and extensive moisture damage including mold growth to the interior walls, which is not always visible at the time of the inspection. Some of the caulk was missing from around the sink top . These areas should be caulked to help prevent moisture penetration.

The visible portions of the basement kitchen cabinets and counter tops were in fair condition. The appliances were turned on to check operational function only. No consideration is given regarding the age or components that may be worn or otherwise affected by wear and tear or use. No warranty, express or implied, is given for the continued operational integrity of the appliances or their components. The basement kitchen contained the following appliances:

MAINTENANCE NOTE: DOOR ADJUSTMENT

One or more of the kitchen cabinet door hinges are in need of adjustment. These adjustments are usually relatively simple and only require the tightening of screws or alignment of a variable adjustment hinge.



Basement kitchen

The Frigidaire natural gas free standing range was not inspected because the unit was not connected to the gas service. The accuracy of the clock, timers and settings on ovens are not within the scope of this inspection.

The Frigidaire refrigerator was inspected and did appear to be functional. The temperature setting and ice maker, if present, are not within the scope of the inspection.

Please note that it is not within the scope of this inspection to determine or predict the amount or frequency of past or future water intrusion into the basement. HomeTeam will make its best effort in accordance with the ASHI Standards of Practice to determine, based solely on visible conditions at the time of the inspection, whether there is any evidence of ongoing water penetration in the property. You should use all available resources including the seller disclosure and information from the current owner to determine if any water issues exist. Consult with a company specializing in water proofing if you require a guarantee of a 100 percent dry basement.

CRAWL SPACE, NO ACCESS

There was no access to the crawl space in the back of the home at the time of the inspection. As a result, it was not possible to inspect any part of the structure for moisture, or to determine the type of construction. Additionally, it was not possible to determine if insulation was installed in the space. There was no visual evidence of defects pertaining to the crawl space at the time of the inspection.

WATER-METER

The water meter was located in the utility closet. The main water shutoff valve for the home was located adjacent to the water service entry point in the utility closet. Water shutoff valves are visually inspected only. No attempt is made to operate the main or any other water supply shutoff valves during the inspection. These valves are infrequently used and could leak after being operated. The only exception to this policy is made when the main water supply valve is off upon arrival at the inspection. Since it is the buyers right to have all utilities operable for the home inspection, we will attempt to turn the main water valve on for the inspection. The HomeTeam is not responsible for leaks caused by operating the valve.



Shut off

NOTE: WATER METER GROUND JUMPER:

Generally accepted wiring methods, as well as some local codes require the installation of a ground jumper from one side of the water meter to the other. The purpose of the jumper is to ensure the integrity of the cold water ground connection. The water meter ground jumper was not installed at the time of the inspection. Installation of a ground jumper is recommended. Consult with a qualified electrician.



PLUMBING

The visible water supply lines throughout the home were copper and CPVC pipe. The water was supplied by a public water supply. Water valves are not tested as part of the home inspection. Water valves that have not been operated for an extended period of time often leak after being operated. We would not be able to repair a leaking valve during the home inspection. The waste lines we're not visible, however, they appeared to be ABS under the front deck. The functional drainage of the drain waste lines appeared to be adequate at the time of the inspection. The home was connected to a public sewer system. The under-floor drain lines are considered underground utilities and are specifically excluded from the inspection. The lines are not visible or accessible and their condition cannot be verified during a visual home inspection. Simply running water into plumbing fixtures or floor drains will not verify the condition of the waste line infrastructure under the home. Consult with a qualified plumber for a video camera inspection of the sewer laterals if there is any concern as to the condition of the waste lines under the home. A video scan is the only way to confirm the condition of the drain system. Our inspection of the plumbing system is a functional inspection only. We make no attempt to validate that the plumbing system complies with any codes. Additionally, we cannot validate the workmanship of the plumbing system to be up to standard. We are generalists and do not claim to know everything about any trade. Any concern about the quality or adequacy of the plumbing system should be referred to a qualified, reputable plumber. All plumbing fixtures not permanently attached to a household appliance were operated and inspected for visible leaks. Water flow throughout the home was average. Water pressure was tested at the bathroom sink and found to be 50 to 60 pounds per square inch. There were no material defects observed in the visible portions of the plumbing system.

NOTE: MINOR PLUMBING ISSUES:

Minor plumbing issues were noted during the inspection. This is not intended to be an all inclusive list. Concealed, latent or intermittent plumbing issues may not be apparent during the testing period. Consult with a qualified plumber for further evaluation and repairs as required.

- Full bath toilet is loose on its mounts.
- Full bath sink drain trap is an "S" type. S traps are no longer used because there is a potential for the second bend in the the trap to create a siphon, which drains water from the trap and could permit sewer gas to enter the home.
- Full bath tub stop and waste valve is inoperable. Basement full bath tub stop and waste valve is inoperable. Basement full bath tub plumbing is loose in the wall.
- Basement full bath shower faucet is loose in the wall.
- Basement full bath sink stop and waste valve is inoperable.

NOTE: AMATEUR PIPE REPAIR:

The full bath sink drain line has been repaired with flexible drain pipe . The drain was not leaking at the time of the inspection. This type of amateur repair is generally temporary and should repaired by a qualified plumber.



INFORMATIONAL NOTE: PLUMBING INSPECTION / ACCESS PANEL:

The bathroom plumbing inspection access panel was not accessible. As a result, our view of the plumbing lines behind the panel was restricted. Many bathrooms have no access to the concealed plumbing. In cases where an access panel exists, we make an effort to open the panel to view the plumbing in that area. The lack of or inaccessibility of an access panel is not a problem, nor is the installation of such a panel a requirement.



INFORMATIONAL NOTE: GRINDER / EJECTOR PUMP:

A grinder / sewage ejector pump is installed in the home. The purpose of the grinder pump is to eject raw sewage to the main sewer line located at a point higher than the location of the pump. These systems are found in the lower level of homes situated below the main sewer line. Grinder pumps are sealed, with the majority of their plumbing not visible for inspection. It is our recommendation that a qualified plumber be consulted for evaluation of the system to ensure that it is functional.



Located in access area behind toilet

GAS METER

The gas meter was located on the exterior wall. The gas supplier for the home based on the identification tag on the meter is Equitable. The main gas valve is usually located at the gas meter and requires a wrench to operate. All visible and readily accessible valves and fittings are tested for leaks using an electronic gas leak detector. No leaks were detected. There was no noticeable odor of gas detected at the time of the inspection. The exterior gas line is below grade, classified as underground utilities and cannot be inspected. HomeTeam recommends enrolling in the gas company's line protection program. The program is available for a low monthly fee, and will cover the majority, if not all of the replacement cost of the main exterior gas line in the event it fails.

INFORMATIONAL NOTE: GAS APPLIANCES THAT ARE OFF:

In the interest of the safety of the inspector and everyone involved, we will not make any attempt to light pilots that are extinguished. It is possible that the gas used to keep a flame lit will continue to flow. If this continues, its concentration may reach a point where a spark or flame will cause a flare up or flashback. We suggest that if it is noted in this report that a gas appliance was not tested because the pilot or gas was off, that you consult with the property owner to have the appliance placed back in to service and tested by a qualified contractor.



ELECTRIC WATER HEATER

There was a 40 gallon capacity, electric water heater located in the utility closet. The water heater was manufactured by A. O. Smith, model number EES529171264915 and serial number MM000031264917. Information on the water heater indicated that it was manufactured approximately 26 years ago. A temperature and pressure relief valve (T & P) was present. Because of the lime build-up typical of T & P valves, we do not test them. An overflow leg was present. It did

not terminate close to the floor. Your safety depends on the presence of a T & P valve and an overflow leg terminating close to the floor. The water heater was on and functional. In cases where the water heater is not on at the time of the inspection, it is not possible for us to verify that hot water is present at all plumbing fixtures, nor can we ensure that mixing hot and cold water to achieve a comfortable water temperature works at the fixtures.

INFORMATIONAL NOTE: ELECTRIC HEATING ELEMENTS:

Electric water heaters have two elements that heat the water. While we can confirm that there is hot water at the time of the inspection, we cannot verify that both heating elements are operational. It is possible for one heating element to be defective and still have hot water. A bad heating element will only become evident after long periods of hot water demand. The limited time spent during the home inspection is not sufficient for a defective heating element to reveal itself. If you experience what seems to be tepid water after longer periods of hot water use, consult with a qualified plumber for evaluation.

NOTE: MISSING EXPANSION TANK:

There is no expansion tank installed on the water heater. Expansion tanks relieve excessive pressure in the plumbing system and help lengthen the life of the water heater. These devices are installed on most newer water heaters. We recommend consulting with a qualified plumber for installation of an expansion tank. Depending on the terms, the lack of an expansion tank could affect any remaining manufacturer's warranty on the water heater.



NOTE: MISSING DRIP LEG:

There was no drip leg installed on the T&P valve of the water heater. The drip leg directs water from the T&P valve toward the floor. A drip leg terminating within six-inches of the floor should be installed.



NOTE: PAN:

There is no water collection pan installed under the water heater. The collection pan will capture water from the unit in the event of a leak. A collection pan should be installed by a qualified contractor.

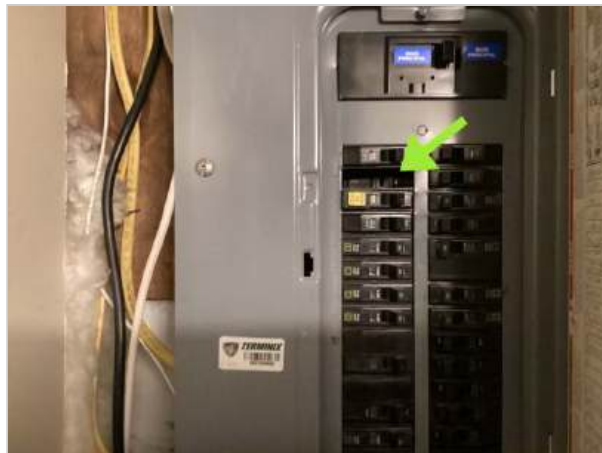


ELECTRIC SERVICE

The overhead electric service wire entered the home on the front wall. The electric meter was located on the exterior wall. The service entrance cable consisted of stranded aluminum rated for 200 amps. The service wire entered a Square D service panel, located on the interior wall with a 200 amp and 120/240 volt rated capacity. The main service disconnect switch was located in the main panel. The branch circuits within the panel were copper. These branch circuits and the circuit breaker to which they were attached appeared to be appropriately matched. The internal components of the service panel, i.e. main lugs, bus bars, etc were in good condition. The visible house wiring consisted primarily of the Romex type and appeared to be in good condition. An electric service grounding system was installed. Service grounding requirements have changed many times over the years. The grounding system for a 30-year-old electric service is different from that of a 10-year-old service. The inspection does not attempt to verify that the grounding system or any other part of the electric service complies with current codes.

SAFETY NOTE: OPEN KNOCKOUT IN MAIN SERVICE PANEL:

One or more electrical fixture knockout(s) was noted in the electric service panel. All service panel openings should be covered to prevent access to high voltage and risk of electrical shock. Electrical related repairs should be performed by a qualified electrician.



NOTE: SERVICE CABLE SEALANT:

The sealant at the top of the electric meter box is cracked and decayed. The sealant should be replaced to ensure that water does not enter the electric service panel.



A representative number of installed lighting fixtures, switches, and receptacles located throughout the home were tested. Please note that it is not always possible for us to identify the purpose of every switch in the home. Switches may appear to be inoperable or serve no purpose for a variety of reasons, some of which include switches installed for future use, abandoned switches as part of renovation activities or those that operate a device under special conditions such as the heating of gutters in the winter. Specific questions about the purpose of unidentifiable switch uses should be directed to the current property owner. The grounding and polarity of receptacles within six feet of plumbing fixtures, and those attached to ground fault circuit interrupters (GFCI), if present, were also tested. The installation of GFCI protected circuits and/or outlets located within six feet of water, in unfinished basement areas, garage and the exterior of the home is a commonly accepted practice and required by many municipalities. All GFCI receptacles and GFCI circuit breakers should be tested monthly. There were GFCI protected circuits in the home. The present and tested GFCIs were tested and found to be functional.

SAFETY NOTE: EXPOSED LIVE WIRES:

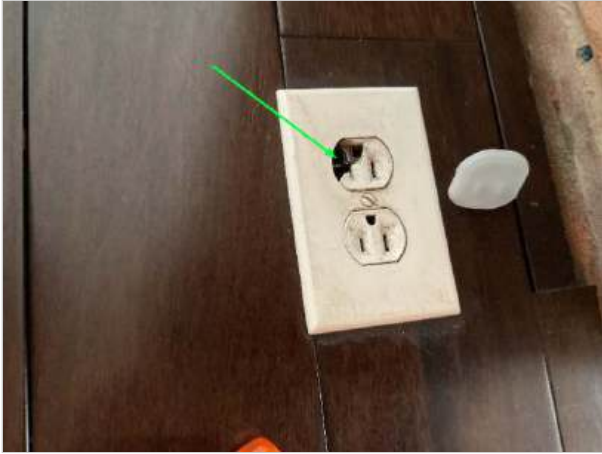
Exposed or un-terminated live wires were noted on the exterior. The wires should either be disconnected at the source or properly terminated in an approved, covered electrical box. Consult with a qualified electrician for repair.



Rear

SAFETY NOTE: BROKEN OUTLET:

A broken outlet was noted in the kitchen. This could be a shock hazard due to exposed electrical contacts. The affected outlet(s) should be replaced by a qualified contractor.



NOTE: UNSUPPORTED ELECTRICAL WIRE:

One or more sections of unsupported electrical wiring was noted in the attic. All electrical wiring should be supported at regular intervals.



The electrical service appeared to be adequate. Alarms, electronic keypads, remote control devices, landscape lighting, telephone and television, and all electric company equipment were beyond the scope of this inspection. An electrical inspection sticker placed by an independent firm certified to do electrical inspections was not present. Some jurisdictions require an independent electrical inspection and sticker within the last 5 years as a requirement to obtain an occupancy permit. While the requirement to obtain an occupancy permit is usually the sellers, HomeTeam is providing information on the presence of the electrical inspection sticker as a courtesy. There were no material defects observed in the electrical system.

SMOKE-ALARMS

There were smoke alarms found in the house. Property maintenance codes vary from area to area. Some municipalities require smoke alarms in every bedroom, while others only require them on each floor. Check with the local code enforcement officer for the requirements in your area. For safety reasons, the smoke alarms should be tested upon occupancy. The batteries (if any) should be replaced with new ones when you move into the house, and tested on a monthly basis thereafter.

CARBON MONOXIDE DETECTOR

HomeTeam recommends installing carbon monoxide detectors in the home. The detector will alert the occupants of the home to the presence of dangerous carbon monoxide caused by a malfunctioning gas appliance. Multi-function devices exist that provide protection for carbon monoxide, smoke and fire. We are not always able to determine if these types of devices are installed. Many carbon monoxide alarms plug into a standard outlet and can easily be removed by the previous owner. You should verify the types of devices installed in your home, replace the batteries and test immediately after closing.

WINDOWS, DOORS, WALLS AND CEILINGS

A representative number of accessible windows and doors were operated and found to be functional. The primary windows were constructed of vinyl-clad, sliding style, with insulated glass. We test all operable windows with unobstructed access. We do not comment on the presence or condition of window screens or storm windows. Additionally, windows with access blocked by furniture or personal affects, or those covered with plastic or other stationary interior storm windows are not operated. All exterior doors were operated and found to be in need of some repair. The exterior door locks should be changed or rekeyed upon occupancy. Possible problem areas may not be identified if the windows or doors have been recently painted. We do not comment on the presence or condition of storm doors, weather stripping or door insulating materials unless their condition represents a safety concern. There were no material defects observed in the windows or doors.

NOTE: DOOR WON'T OPEN:

The basement man door could not be opened because the door is damaged. Consult with a qualified contractor for repair.



NOTE: DEFECTIVE TILT LATCH:

One or more defective tilt latches were noted on the windows. The tilt latch facilitates easier cleaning by permitting the window to tilt inward when the latches are released. Defective latches permit the window to tilt or fall inward during normal opening. The latches should be replaced.



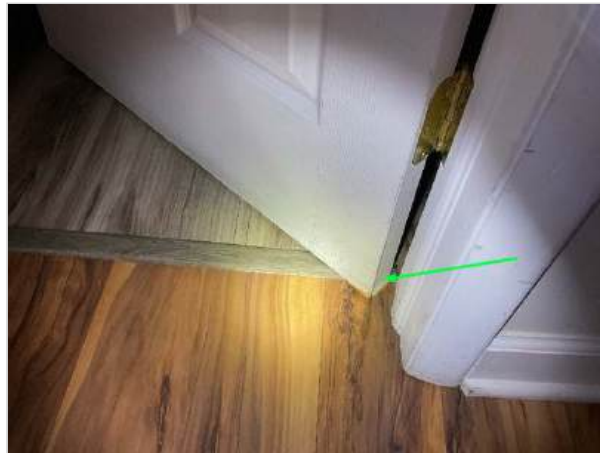
rear bedroom



rear bedroom

NOTE: DAMAGED DOOR CLADDING:

The cladding on the door located in basement bath is delaminated. The door will not close. Repair should be made by a qualified contractor.



The interior wall and ceiling surfaces were finished with drywall. The interior wall and ceiling structure consisted of wood framing. Possible problem areas may not be identified if the interior wall and ceiling surfaces have been recently painted. Since the finished wall material and framing are different materials, they expand and contract at different rates. As a result, it is common to see cracks on the finished surface especially around door and window openings and ceilings. These cracks are cosmetic and generally have no structural significance. There were no material defects observed in the interior walls or ceilings.

FIRST LEVEL

The first level consisted of a living room and kitchen. The HomeTeam inspects for evidence of structural failure and safety concerns only. The cosmetic condition of the paint, wall covering, carpeting, window coverings, etc., are not addressed. There were no material defects observed on the first level.

SAFETY NOTE: RAIL BALUSTERS:

The balusters on the first floor handrail were installed horizontally. Local codes may require the installation of additional balusters. Consult with a general contractor for cost estimates for additional balusters.



The visible portions of the cabinets and counter tops were in good condition. The appliances were turned on to check operational function only. No consideration is given regarding the age or components that may be worn or otherwise affected by wear and tear or use. No warranty, express or implied, is given for the continued operational integrity of the appliances or their components.

The kitchen contained the following appliances:

The Kenmore natural gas built in range was inspected and did appear to be functional. The accuracy of the clock, timers and settings on ovens are not within the scope of this inspection. Please note that many new ranges come with an anti-tilt bracket that is supposed to be attached to the wall and to the back of the range. The purpose of the bracket is to ensure that the range does not tilt forward when the oven door is open and racks are pulled out. We do not verify that the bracket is or is not installed at the inspection. Doing so would require us to pull the range away from the wall, risking scratching or other damage to the finished floor. consult with an appliance service for further evaluation if you want to be sure the bracket is installed.

INFORMATIONAL NOTE: RANGE ANTI TIP BRACKET:

Newer ranges include an anti-tip bracket designed to provide protection when excess force or weight is applied to an open oven door. The bracket is not visible or readily accessible since it is usually installed beneath a rear foot. Applying excessive force on the oven door can damage the hinge or spring so, we do not confirm the presence of a bracket. HomeTeam recommends that anti-tip brackets be installed on all free-standing ranges.

The Arda vented range hood was inspected and did appear to be functional. The exhaust capacity is not within the scope of this inspection. Cleaning the fan and filter may increase the exhaust capability.

The Frigidaire refrigerator was inspected and did appear to be functional. The temperature setting and ice maker, if present, are not within the scope of the inspection.

The Whirlpool dishwasher was tested and did appear to be functional.

The Vissani microwave oven was inspected and did appear to be functional. The accuracy of the clocks, timers and settings are not within the scope of this inspection.

INFORMATIONAL NOTE: CLOTHES DRYER CONNECTIONS:

This note is supplied for informational purposes only, as many clients want to know the type of dryer connections available to them. The absence of either type dryer connection is not a problem. A 240 volt outlet for an electric clothes dryer was installed in the laundry area. If an outlet is present, no attempt was made to verify that the outlet is properly wired or that power is present. A gas connection was not available for a gas clothes dryer. For safety reasons, no attempt was made to verify the presence of gas service at the visible gas dryer connection. Consult with a qualified contractor if the desired type of connection is not available.

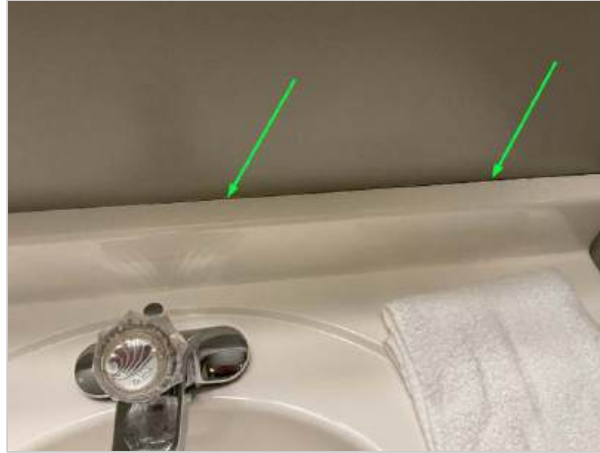
A dryer vent was installed. The visible portions of the dryer vent was inspected and did appear to be functional. The venting was adequate to vent the dryer to the exterior of the home.

SECOND LEVEL

The second level of the home consisted of two bedrooms and one full bath. There were no material defects observed on the second level.

MAINTENANCE NOTE: BATHROOM CAULKING:

Failure to keep walls sealed can cause deterioration and extensive moisture damage including mold growth to the interior walls, which is not always visible at the time of the inspection. Some of the caulk was missing from around the sink top . These areas should be re-caulked to help prevent moisture penetration.



The second floor stairway was inspected and there were no material defects observed with the steps, stairways or handrails.

As with all elements of the home inspection, the fireplace inspection is not technically exhaustive. The inspection provides a general condition report only. The fireplace inspection does not include the interior of flues or chimneys, draft characteristics, chimney or firebox integrity or the adequacy of draft, airflow or makeup air. Consult with a qualified, reputable chimney and fireplace professional for a complete evaluation of the fireplace and chimney. Care must be taken to ensure that any flue vent / damper is open during use. All solid fuels such as wood as well as gas logs emit carbon monoxide which is not visible and has no odor. Proper venting ensures that all fire byproducts are vented to the exterior. For safety reasons, a fireplace and the chimney or pipe to which it is vented should be cleaned and re-inspected as there may be hidden defects, not fully visible at the time of the inspection. The fireplace was not tested for operation or function.

ATTIC STRUCTURE

The attic was accessed through a pull down steps in the 2nd floor bedroom. The attic above the living space was insulated with foam and loose fill insulation, approximately 10 -inches in depth. We do not disturb insulation. As a result any issues concealed by insulation will not be identified.

The attic ventilation appeared to be adequate. A thermostatically controlled attic fan was installed. Attic fans are not tested as part of the home inspection.

The roof structure consisted of two-inch by ten -inch wood rafters spaced 24 inches on center the sheathing was not visible. The ceiling structure consisted of two-inch by ten-inch ceiling joists spaced 24-inches on center.

There was no moisture visible in the attic space.

As with all aspects of the home inspection, attic and roof inspections are limited in scope to the visible and readily accessible areas. Many areas of the roof are not visible from the attic especially near the base, where the largest volume of water drains. The presence of or active status of roof leaks cannot be determined unless the conditions which allow leaks to occur are present at the time of the inspection. Please be aware that rain alone is not always a condition that causes a leak to reveal itself. The conditions that cause leaks to occur can often involve wind direction, the length of time it rains, etc. The inspection does not offer or imply an opinion or warranty as to the past, present or future possibility of roof, skylight, flashing or vent leaks. There were no material defects observed in the attic or roof structure.



HEATING SYSTEM

The heating system was inspected by HomeTeam. Annual maintenance of the heating and cooling equipment is essential for safe and efficient performance, which will maximize the system's useful life. The results of our visual and operational inspection of the heating system is described below. Periodic preventive maintenance is recommended to keep this unit in good working condition. The home was heated by a Lennox natural gas forced air furnace, Serial Number 5912A21507, Model Number M/N G61MP - 60C -091-09 which is approximately 14 years old. The unit was located in the utility closet of the home . A carbon monoxide detector with probe was inserted into the main plenum just above the heat exchanger. There was no measurable level of carbon monoxide detected at the time of the inspection. **LIMITATION:** Examination of heating systems is mechanically limited since the unit cannot be dismantled to examine all of the interior components. Without removing the burners to gain complete access, and with the limited viewing area of the heat exchanger, a thorough inspection is not possible. The inspection does not include a heat-loss analysis, heating design or adequacy evaluation, energy efficiency assessment, installation compliance check, chimney flue inspection, draft test or buried fuel tank inspection. Termination of HVAC condensate lines was raised above the floor drain or drain inlet. The condensate lines were trapped. HVAC condensate lines must be trapped and not in contact with wet drain inlets to prevent the possible migration of bacteria and mold into the air-handling system. The PVC venting system was adequate to exhaust the spent gases to the exterior of the home and was in in need of repair condition. The system was on and the ignition source enabled.. The heating system was functional. The unit does not appear to have been recently serviced. It is recommended that the furnace be cleaned and serviced by a qualified contractor upon taking ownership of the property. The furnace should be serviced annually to maintain safe and efficient operation.

NOTE: FLUE VENT REDUCED:

The vent has been reduced in size from the required 4-inch pipe. The vent pipe should consist of 4-inch pipe its entire length as it vents to the exterior of the home. Consult with a qualified contractor for repair.



4 inch to 2 inch reduction

NOTE: WATER INSIDE FURNACE COMPARTMENT:

Evidence of water was noted inside the furnace compartment. The condition is most likely caused by a condensate leak in the furnace and/or air conditioning condensate drain lines. The water can also be caused by a leaking humidifier if one is installed. Water inside the furnace compartment can damage the furnace cabinet or other operational components and should be repaired. The furnace compartment was dry at the time of the inspection. Consult with a qualified heating contractor to determine the source of the water and correct the issue. Please also note that due to the seasonal use of heating and air conditioning systems, wet and dry conditions can change based on whether the inspection is performed during the heating or cooling season. The observation at the time of the inspection can be limited to seasonal conditions.



Rust

A condensate pump was installed on the HVAC system. A condensate pump drains the water produced by the furnace, air conditioner and humidifier overhead to another location in the home. The condensate pump drained to an undetermined location.



NOTE: CONDENSATE DRAIN:

The condensate pump did not appear to be directed to a proper drain. Efforts should be made to ensure the condensation is directed into a proper drain.



Drains to toilet tank

ELECTRIC BASEBOARD HEAT

The heating system in the basement consisted of electric baseboard units controlled by either wall-or unit mounted thermostats. The thermostats were turned up during the inspection and appeared to be functional. Electrical heating units require minor servicing and upkeep. The metal fins within the units should be kept clean and the surrounding area should be left open to allow for sufficient airflow.



AIR CONDITIONING

The electric outdoor air conditioner condensing unit was a Lennox, Model Number 13ACX-036-230 - 17 and Serial Number 1912F45446. The unit is located in the back of the home. This unit is approximately 14 years old. Periodic preventive maintenance is recommended to keep this unit in good working condition. The forced air cooling system was not tested because the outside temperature was below sixty degrees within the last twenty four hours.. The home inspection does not include a heat-gain analysis, cooling design or adequacy evaluation, energy efficiency assessment, installation compliance check or refrigerant evaluation.

NOTE: A/C LINE SET INSULATION:

The insulation on the exterior air conditioning line set is damaged. This could affect the efficiency of the system and should be replaced.



NOTE: UNLEVEL AC:

The air conditioning condensing unit is not installed level. An uneven installation can impact the unit's operational efficiency and may cause premature wear on internal components such as the compressor. A qualified HVAC contractor should evaluate and correct the installation to ensure the unit is properly leveled and operating as intended.



There will be normal temperature variations from room to room and level to level, most noticeable between levels.

Airflow throughout the house may be balanced by adjusting any dampers in the supply ducts, or by adjusting the supply registers. Inspection of air and duct supply system for adequacy, efficiency, capacity or uniformity of the conditioned air to the various parts of the structure is beyond the scope of the home inspection.

The disposable filter should be replaced on a regular basis to maintain the efficiency of the system. The efficiency rating is not within the scope of this inspection.

CONTROLS

The control for the heating and air conditioning system was a 24 volt thermostat located on the bedroom wall of the home. The thermostat was manufactured by White Rodgers and was found to be in working order.



REASONABLE EXPECTATIONS REGARDING A PROFESSIONAL HOME INSPECTION:

There may come a time when you discover something wrong with the house, and you may be upset or disappointed with your home inspection. There are some things we'd like you to keep in mind.

Intermittent or concealed problems: Some problems can only be discovered by living in a house. They cannot be discovered during the few hours of a home inspection. For example, some shower stalls leak when people are in the shower, but do not leak when you simply turn on the tap. Some roofs and basements only leak when specific conditions exist. Some problems will only be discovered when carpets are lifted, furniture is moved or finishes are removed.

No clues: These problems may have existed at the time of the inspection, but there were no clues as to their existence. Our inspections are based on the past performance of the house. If there are no clues of a past problem, it is unfair to assume we should foresee a future problem.

We always miss some minor things: Some say we are inconsistent because our reports identify some minor problems but not others. The minor problems that are identified were discovered while looking for more significant problems. We note them simply as a courtesy. The intent of the inspection is not to find the \$200 problems; it is to find the \$1000 problems. These are the things that affect people's decisions to purchase.

Contractor's advice: A common source of dissatisfaction with home inspectors comes from comments made by contractors. Contractors' opinions often differ from ours. Don't be surprised when three roofers all say the roof needs replacement, when we said that the roof would last a few more years with some minor repairs.

"Last man in" theory: While our advice represents the most prudent thing to do, many contractors are reluctant to undertake these repairs. This is because of the "last man in" theory. The contractor fears that if he is the last person to work on the roof, he will get blamed if the roof leaks, regardless of whether or not the roof leak is his fault. Consequently, he won't want to do a minor repair with high liability, when he could re-roof the entire house for more money and reduce the likelihood of a callback. This is understandable.

Most recent advice is best: There is more to the "last man in" theory. It suggests that it is human nature for homeowners to believe the last bit of expert advice they receive, even if it is contrary to previous advice. As home inspectors, we unfortunately find ourselves in the position of "first man in" and consequently it is our advice that is often disbelieved.

Why didn't we see it?: Contractors may say, "I can't believe you had this house inspected, and they didn't find this problem." There are several reasons for these apparent oversights:

- **Conditions during inspection:** It is difficult for homeowners to remember the circumstances in the house at the time of the inspection. Homeowners seldom remember that it was snowing, there was storage everywhere or that the furnace could not be turned on because the air conditioning was operating, etc. It's impossible for contractors to know what the circumstances were when the inspection was performed.
- **This wisdom of hindsight:** When the problem manifests itself, it is very easy to have 20/20 hindsight. Anybody can say that the basement is wet when there is 2" of water on the floor. Predicting the problem is a different story.
- **A long look;** If we spent half an hour under the kitchen sink or 45 minutes disassembling the furnace, we'd find more problems, too. Unfortunately, the inspection would take several days and would cost considerably more.
- **We're generalists:** We are generalists; we are not specialists. The heating contractor may indeed have more heating expertise than we do. This is because we are expected to have heating expertise and plumbing expertise, structural expertise, electrical expertise, etc.
- **An invasive look:** Problems often become apparent when carpets or plaster are removed, when fixtures or cabinets are pulled out, and so on. A home inspection is a visual examination. We don't perform invasive or destructive tests.

Not insurance: In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy. The premium that an insurance company would have to charge for a policy with no deductible, no limit and an indefinite policy period would be considerably more than the fee we charge. It would also not include the value added by the inspection.

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